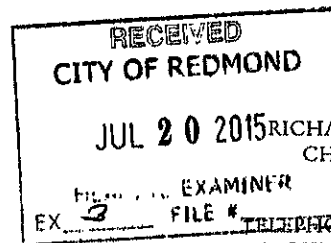




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EX. 3 FILE # EXAMINER
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July 16, 2015

Via Email svanags@redmond.gov and U.S. Mail

City of Redmond
Attn: Hearing Examiner
Mail Stop 2SPL
P.O. Box 97010
Redmond, WA 98073-9710

**Re: Strom Property PPL, File No. LAND-2013-01788, Hearing: 7/20/2015
Comments and Request for Party of Record Status for Fermi Wang**

Dear Hearing Examiner:

This firm represents Fermi Wang and on his behalf I am providing these comments for the hearing on the Strom Property PPL, File No. LAND-2013-01788. Mr. Wang owns King County Parcel No. 262605-9054 (Wang Property). The Wang Property is adjacent to the project site and directly to the north. Mr. Wang has no objections to the proposed housing subdivision and he supports approval of the project. Mr. Wang's interest in this matter is to ensure that the proposed subdivision is approved and constructed in a manner that facilitates future development of the Wang Property as required by the various City of Redmond policies, regulations, and standards.

First, Fermi Wang requests to be a Party of Record in this proceeding, and I make this request on his behalf. As his representative, please direct any communications to me as follows: Charles A. Klinge, Stephens & Klinge LLP, 10900 NE 8th Street, Suite 1325, Bellevue, WA 98004, (425) 453-6206, klinge@sklegal.pro.

Second, I have had an opportunity to obtain limited information about the proposed subdivision. I have requested a copy of the Staff Report for the hearing, but none has been provided to me. It appears that the proposed access road—the extension of 159th Avenue NE—would be extended to, or close to, the north property line and the connection to the Wang Property. That connection is required by the City's North Redmond Neighborhood Circulation Plan (copy attached). Nevertheless, the subdivision plans are not entirely clear, and could be subject to change in construction drawings. After all, if the last five feet of land is not dedicated to the City, then the Wang Property would be cut off contrary to the Circulation Plan.

Therefore, Mr. Wang requests that a condition of approval be added to the project stating in some manner that: *"The construction drawings, final construction, and right-of-way dedication for 159th Avenue NE shall be completed to the north to provide a continuous road connection to the adjacent parcel."*

Third, similar to the road connection, it is important that other public utilities are “stubbed to the property line,” meaning extended to the north property line of the Strom Property to ensure that the future development of the Wang Property will have connectivity. The extension of the utilities is required by City regulations and standards. The failure to require extension of utilities is totally inefficient and contrary to City policy. For example, if the extensions are not required, then the Wang Property would likely need to rip up the street in the new neighborhood to make the connection. The City does not want new streets ripped up which would entail a massive disruption to the new residents of the subdivision.

I reviewed a copy of the Grading, Transportation and Utility Plan revised date 2/11/15. That plan is difficult to read because certain utilities are in grey scale as being provided by the Greystone Project. The storm drainage is shown and Mr. Wang recognizes that each site must address its own storm drainage and so extension to the property line is not expected. It appears that the water line is designed to be extended to the north property line within the right-of-way. However, the Legend denotes a P for Power/Gas/Phone/Cable. The P line appears to turn on Tract B and never make it to the north property line. That is unacceptable and would cause Lot 1 and likely the adjacent sidewalk and part of the access in Tract B to be ripped up to make the connection. That is against City regulations and would be a massive disruption to the new Lot 1 owner and other residents along Tract B. Thus, the P line needs to be extended to the property line. With respect to sewer, it is unclear whether the sewer line is designed to be extended to the property line—it should be. The future is unknown. It may be that the Wang Property will direct all its sanitary sewage down the hill to the sewer line in NE 124th Street NE. But, it may turn out that future lots at the top of the Wang Property adjacent to the Strom Property would be best served by a sewer connection to the south.

For these reasons, Mr. Wang requests that a condition of approval be added to the project approval stating in some manner that: ***“The construction drawings and final construction of all public utilities, namely sewer, water, power, gas, phone, and cable line, shall be extended to the north property line to provide a continuous connection to the adjacent parcel.”***

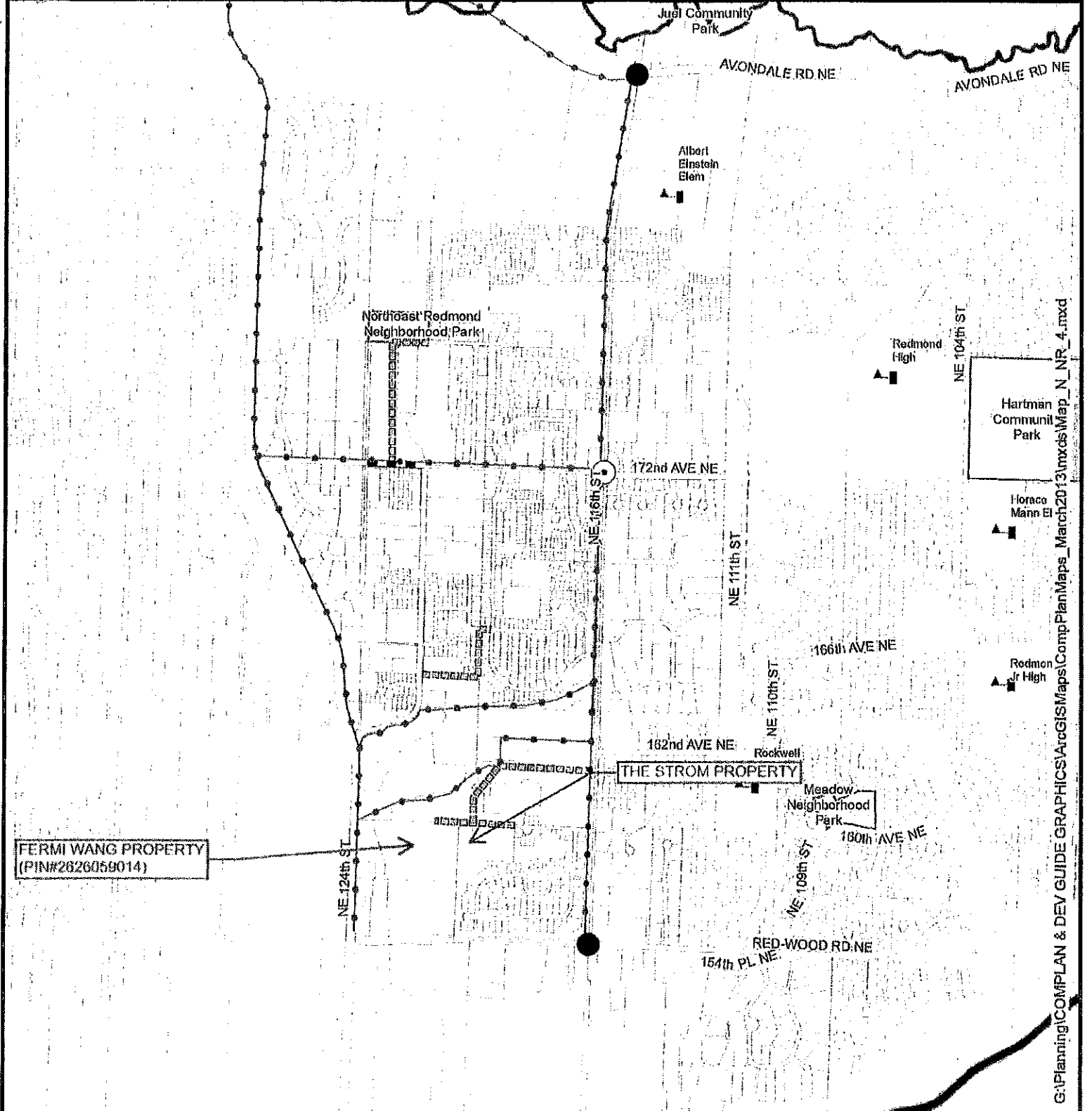
We may have additional comments, if and when, the City provides the Staff Report. Thank you for your careful consideration of these comments.

Sincerely,

STEPHENS & KLINGE LLP


Charles A. Klinge
klinge@sklegal.pro

cc: Fermi Wang
Burnstead Construction via U.S. Mail and email steve@burnstead.com



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Legend

- Existing Signal
- ⊙ Proposed Signal
- Multi-Use Trails
- ▬▬▬ Future Connector Street
- ▬▬▬▬▬ Future Local Street

North Redmond

MAP N-NR-4 NORTH REDMOND NEIGHBORHOOD CIRCULATION PLAN

Note: This is a conceptual plan to illustrate access and circulation goals. Final street/trail alignments may vary if circulation system and interst is maintained.

Effective: March 27, 1997

0 1,000 2,000 3,000

Feet